

FLOOR PLAN - GENERAL NOTES

- WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT
- SEE SHEET <u>A020</u> FOR PARTITION TYPES. SEE SHEET <u>A031</u> FOR DOOR TYPES AND DETAILS
- PROVIDE CONTROL JOINTS ON GYP. BD. ASSEMBLIES PER SPECIFICATIONS AND WHERE SHOWN.
- EXTEND WALLS TO DECK ABOVE STOREFRONT SYSTEMS AND GLASS WALL PARTITIONS.
- REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS WHEN APPLICABLE. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION
- PRIOR TO THE PERFORMANCE OF WORK IN QUESTIONS. COORDINATE AND PROVIDE METAL OR RATED SOLID WOOD BLOCKING (FIRE TREATED) IN PARTITIONS AND CEILING FOR MILLWORK, WALL AND CEILING ATTACHED ITEMS AS SPECIFIED. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, DOOR AND
- WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. INCASE OF CONFLICT, NOTIFY ARCHITECT. COORDINATE WITH TENANT AND OWNER, THE SCHEDULE FOR TELEPHONE, DATA, SECURITY AND AUDIO VISUAL INSTALLATIONS.
- PARTITIONS AT BUILDING PERIMETER SHALL BE CENTERED ON CENTER LINE OF COLUMN OR WINDOW MULLION, UNLESS OTHERWISE NOTED. PROVIDE PARTITION TYPE WITH THE HIGHEST UL AND/OR
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- SEPARATE STUD WALL CAVITIES. PROVIDE ACOUSTIC SOUNDS BATTS ABOVE ALL DEMOUNTABLE PARTITION WALLS, EXTEND 3'-0" BOTH SIDES OF PARTITION.

MILLWORK - GENERAL NOTES

ALL CABINET WORK SHALL BE DONE IN ACCORDANCE WITH ARCHITECTURAL WOODWORK STANDARDS FOR CUSTOM GRADE. CABINET CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD

FOR BUILT-IN WORK PRIOR TO FABRICATION.

- CABINET CONTRACTOR SHALL COORDINATE ALL NECESSARY WOOD BLOCKING IN CONJUNCTION WITH HIS WORK INCLUDING BLOCKING
- REQUIRED FOR THE INSTALLATION OF ANY PREFABRICATED CABINETS ALL WOODWORKING AND BLOCKING ATTACHED TO THE PREMISES SHALL BE FIRE RETARDANT IN ACCORDANCE WITH LOCAL BUILDING
- ALL SURFACES THAT ARE TO RECEIVE PLASTIC LAMINATE FINISHES SHALL ALSO HAVE FINISHED MATERIALS ON ALL EXPOSED EDGES, WHERE APPLICABLE, TO PROVIDE A "BALANCED" CONSTRUCTION.
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- 10 CABINET HARDWARE TO BE DESIGNER SELECTED, AS FOLLOWS: (a) CASEWORK PULLS TO BE HAFELE #106.74.904, #106.74.917, # 106.74.909 - not shown yet on elevations (b) DRAWER GLIDES TO BE ACCURIDE FULL EXTENSION HEAVY DUTY WITH SOFT CLOSE.
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- ALL SS COUNTER TOPS WITH OPENING FOR ACCESS TO TRASH BELOW TO HAVE FINISHED SS EDGE / EXACT SHAPE & SIZE TBD / SEE FINISH PLAN FOR LOCATIONS
- SEE TA DRAWINGS FOR BLOCKING DETAILS AT RECESSED AV MONITORS

WALL RATING LEGEND

NON-RATED PARTIAL HEIGHT

NON-RATED SLAB-TO-DECK

2-HR RATED



5815 Westpark Drive Charlotte, NC 28217 T: 704.525.6350 www.littleonline.com

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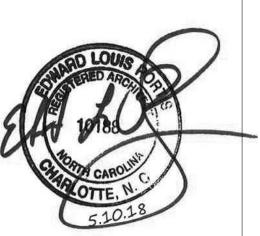












CONSTRUCTION

1 Permit Review Comments 12/8/17 2 Addendum #6 05/10/18 3 Modification 1 08/31/18 4 RFI-45 & 47 5 Doors

PROJECT TEAM PRINCIPAL IN CHARGE EDDIE PORTIS, AIA

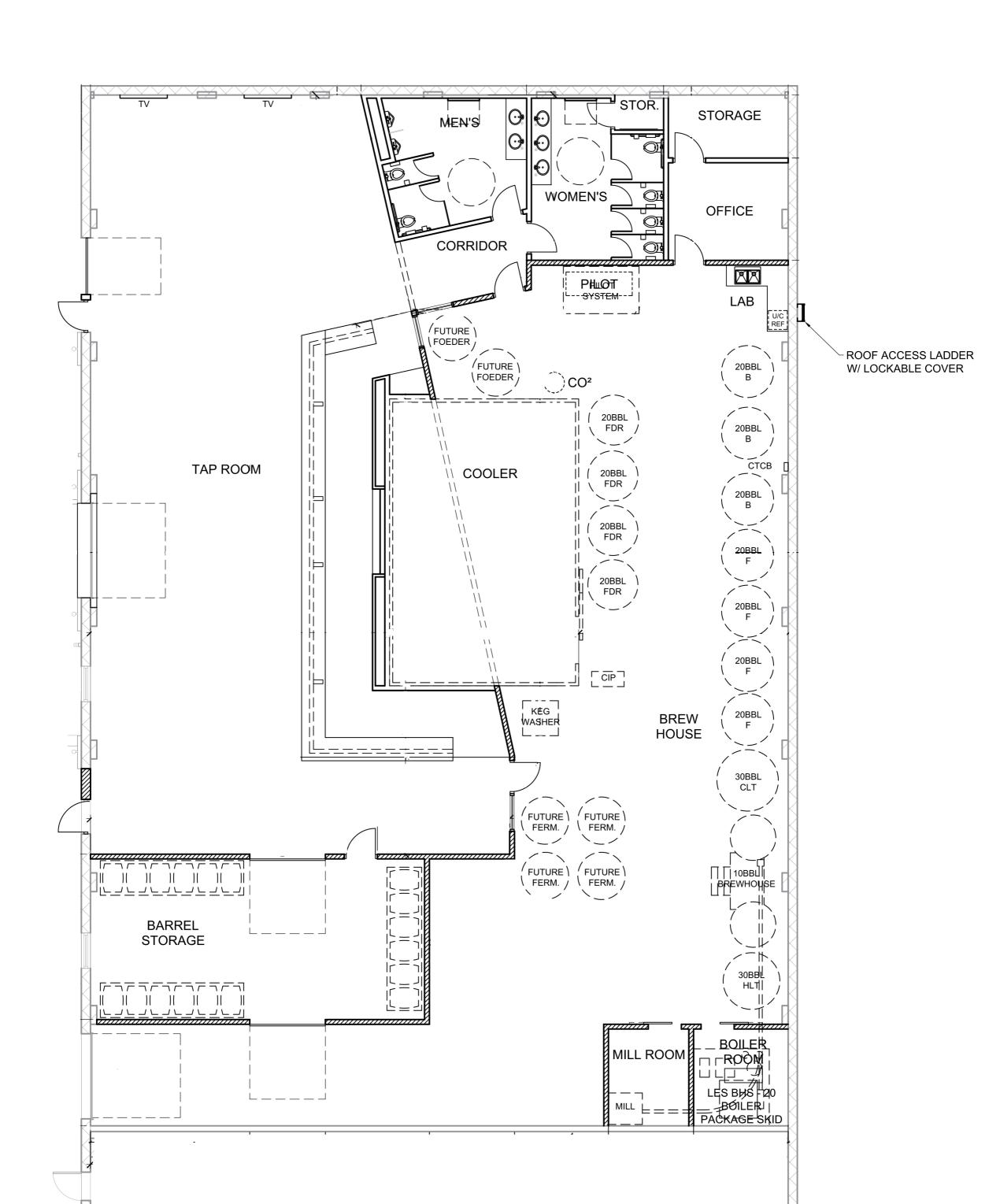
PROJECT MANAGER TIM LOKEN, AIA GH, FDB, CC, JT

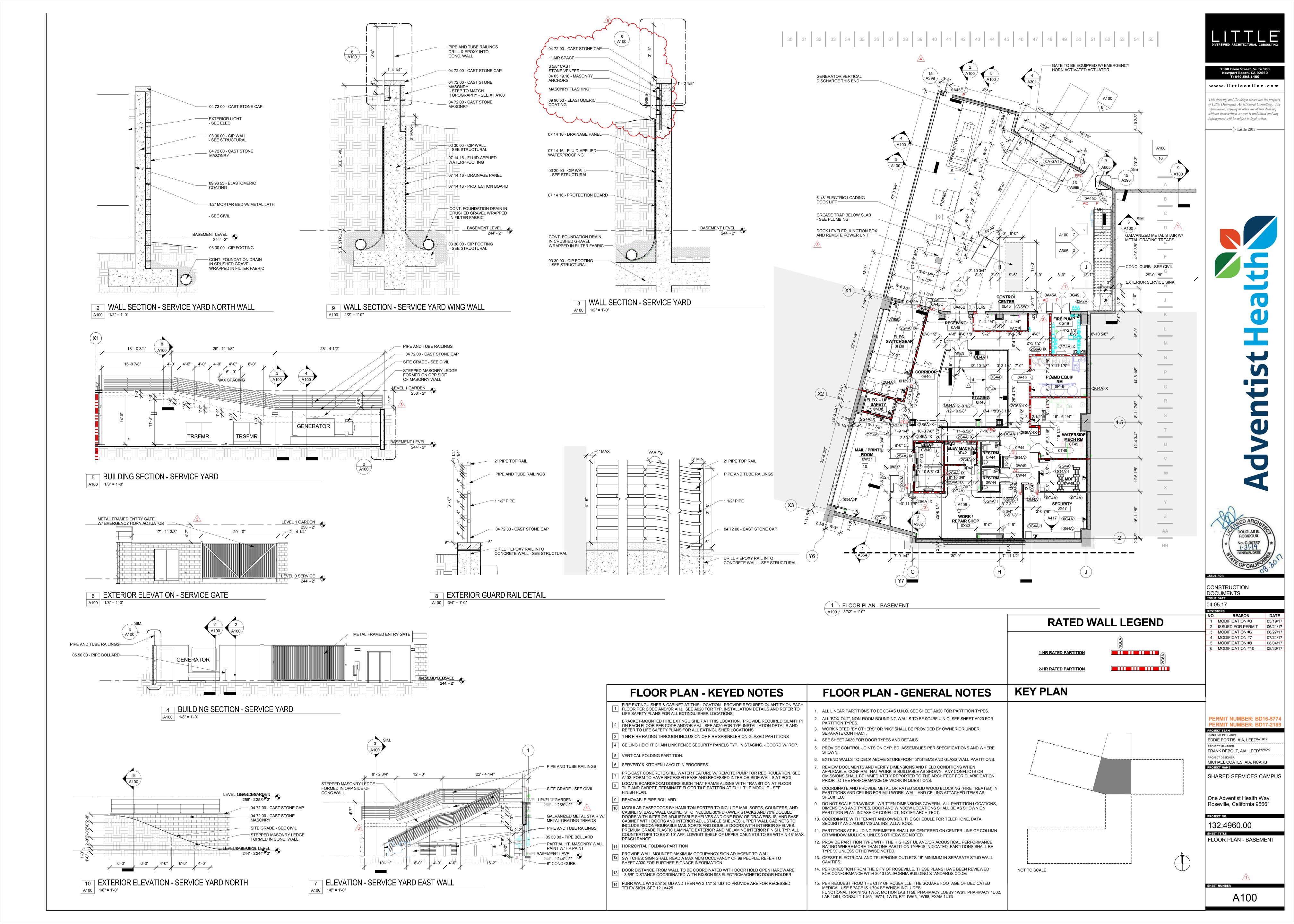
CHARLOTTE REGIONAL REALTOR ASSOCIATION -NEW OFFICE 1120 PEARL PARK WAY CHARLOTTE, NC 28204

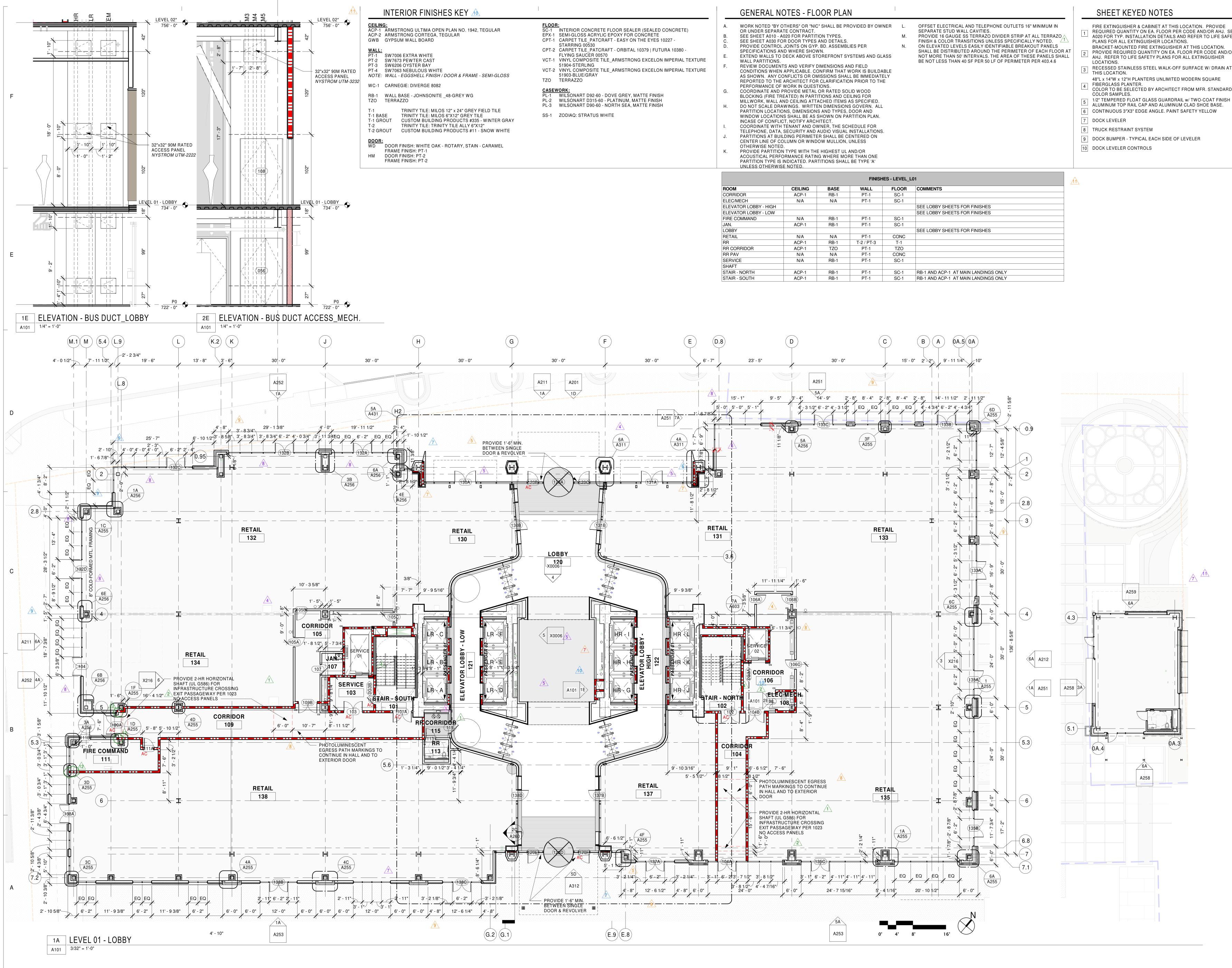
132.6273.00

FLOOR PLAN - LEVEL 2

A102







- REQUIRED QUANTITY ON EA. FLOOR PER CODE AND/OR AHJ. SEE A020 FOR TYP. INSTALLATION DETAILS AND REFER TO LIFE SAFETY
- BRACKET-MOUNTED FIRE EXTINGUISHER AT THIS LOCATION. PROVIDE REQUIRED QUANTITY ON EA. FLOOR PER CODE AND/OR
- RECESSED STAINLESS STEEL WALK-OFF SURFACE W/ DRAIN AT
 - 48"L x 14"W x 12"H PLANTERS UNLIMITED MODERN SQUARE
 - 1/2" TEMPERED FLOAT GLASS GUARDRAIL w/ TWO-COAT FINISH



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SYSKA HENNESSY

GROUP





CONSTRUCTION

SSUE DATE								
3.23.18								
EVISIONS								
10.	REASON	DATE						
1	MODIFICATION 01 / CYCLE 1 COMMENTS	05.08.18						
2	MODIFICATION 06.1	07.10.18						
3	MODIFICATION 08	08.01.18						
4	MODIFICATION 09	09.25.18						
5	MODIFICATION 11	11.07.18						
6	MODIFICATION 13	11.28.18						
7	MODIFICATION 16	01.14.19						
8	MODIFICATION 18	03.06.19						
9	MODIFICATION 21	05.01.19						
10	MODIFICATION 22	06.07.19						
11	MODIFICATION 24	08.01.19						
12	MODIFICATION 28	09.09.19						

EDDIE PORTIS, AIA, LEE® AP BD+C PROJECT MANAGER CHRISTOPHER HOYT, AIA

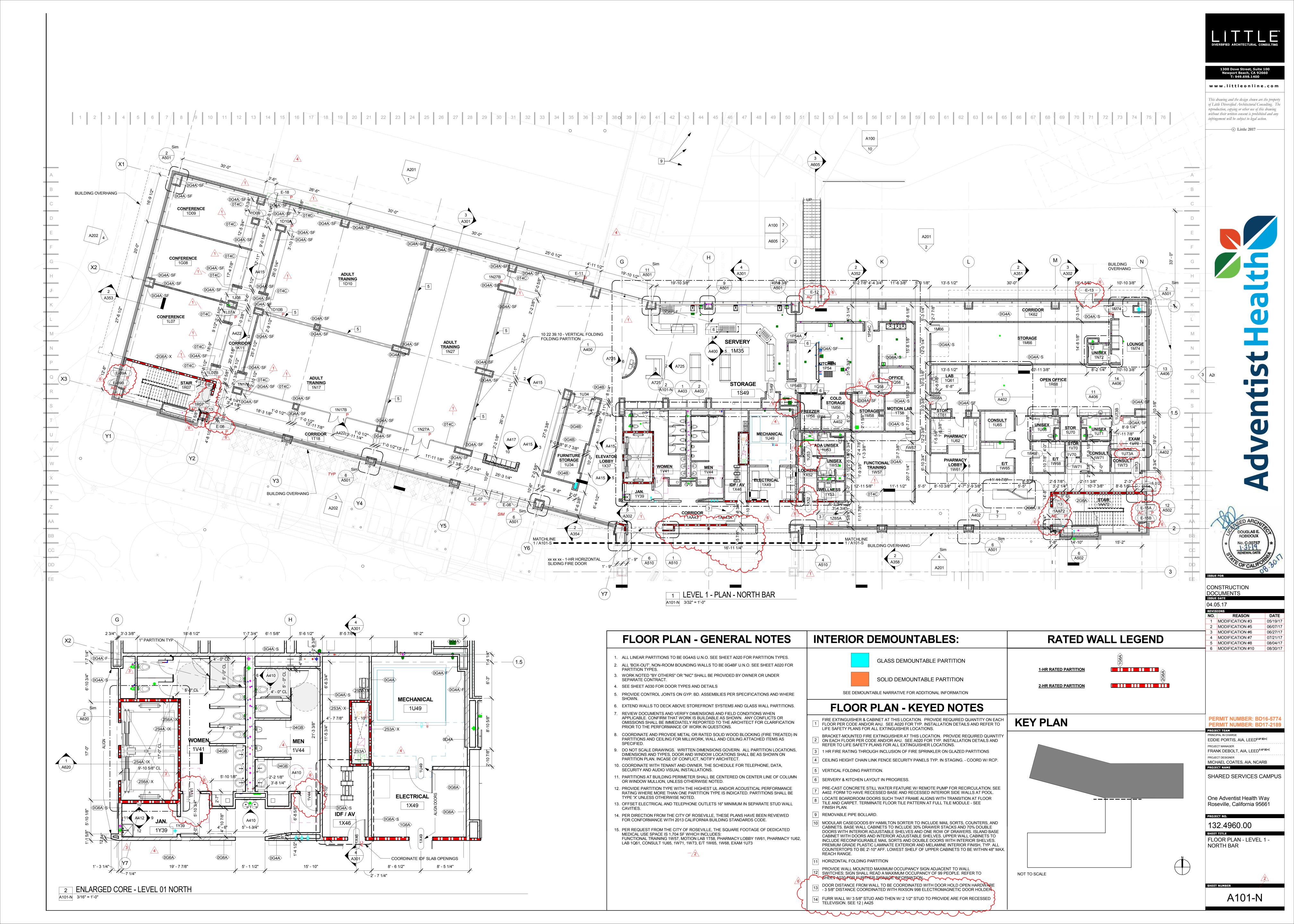
ALLY CHARLOTTE CENTER

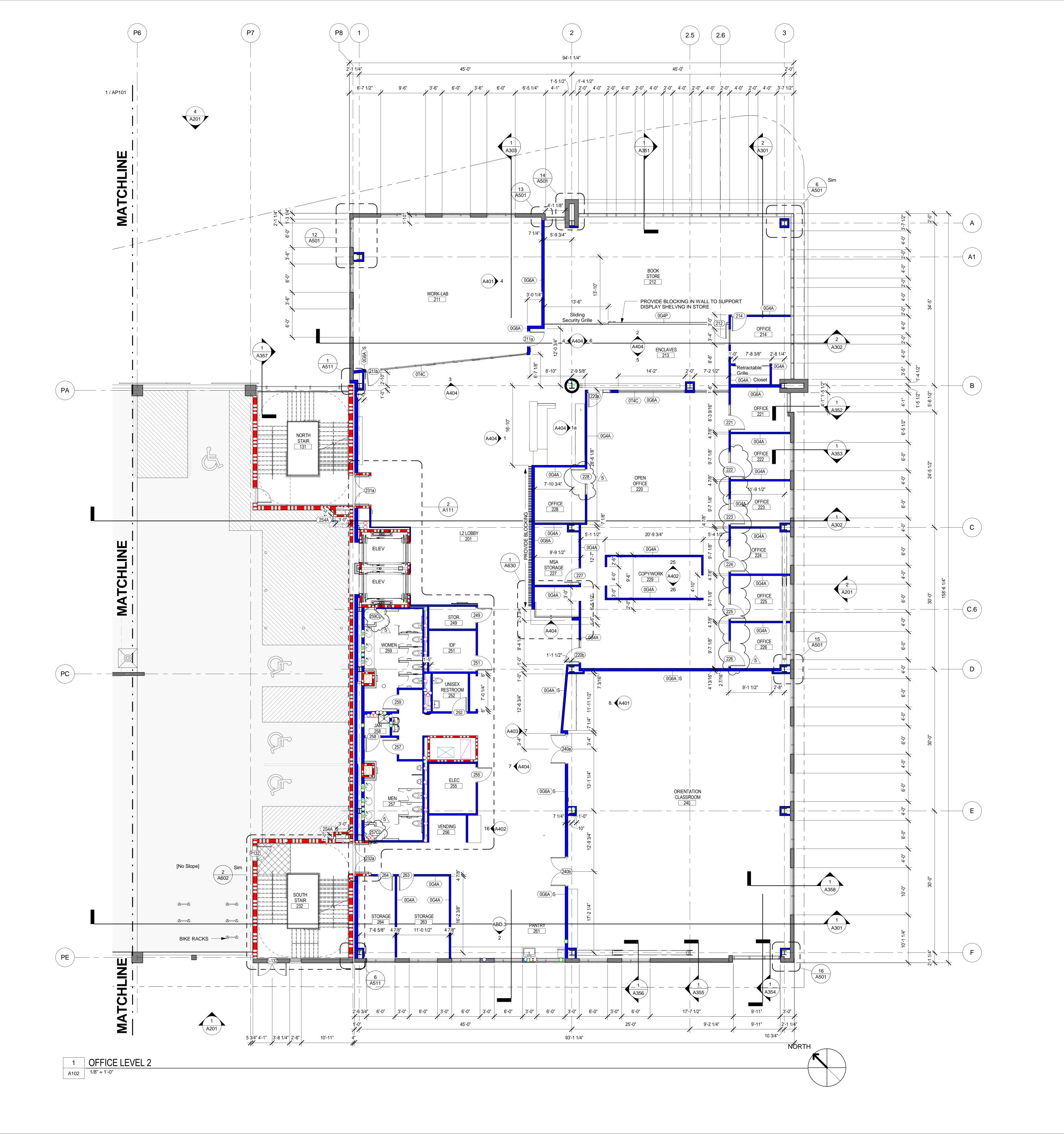
601 SOUTH TRYON STREET CHARLOTTE, NC 28202

132.9153.10

LEVEL 01 - LOBBY / RETAIL

A101





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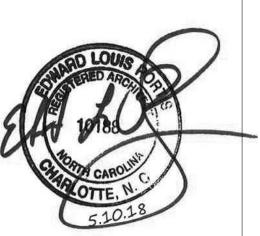












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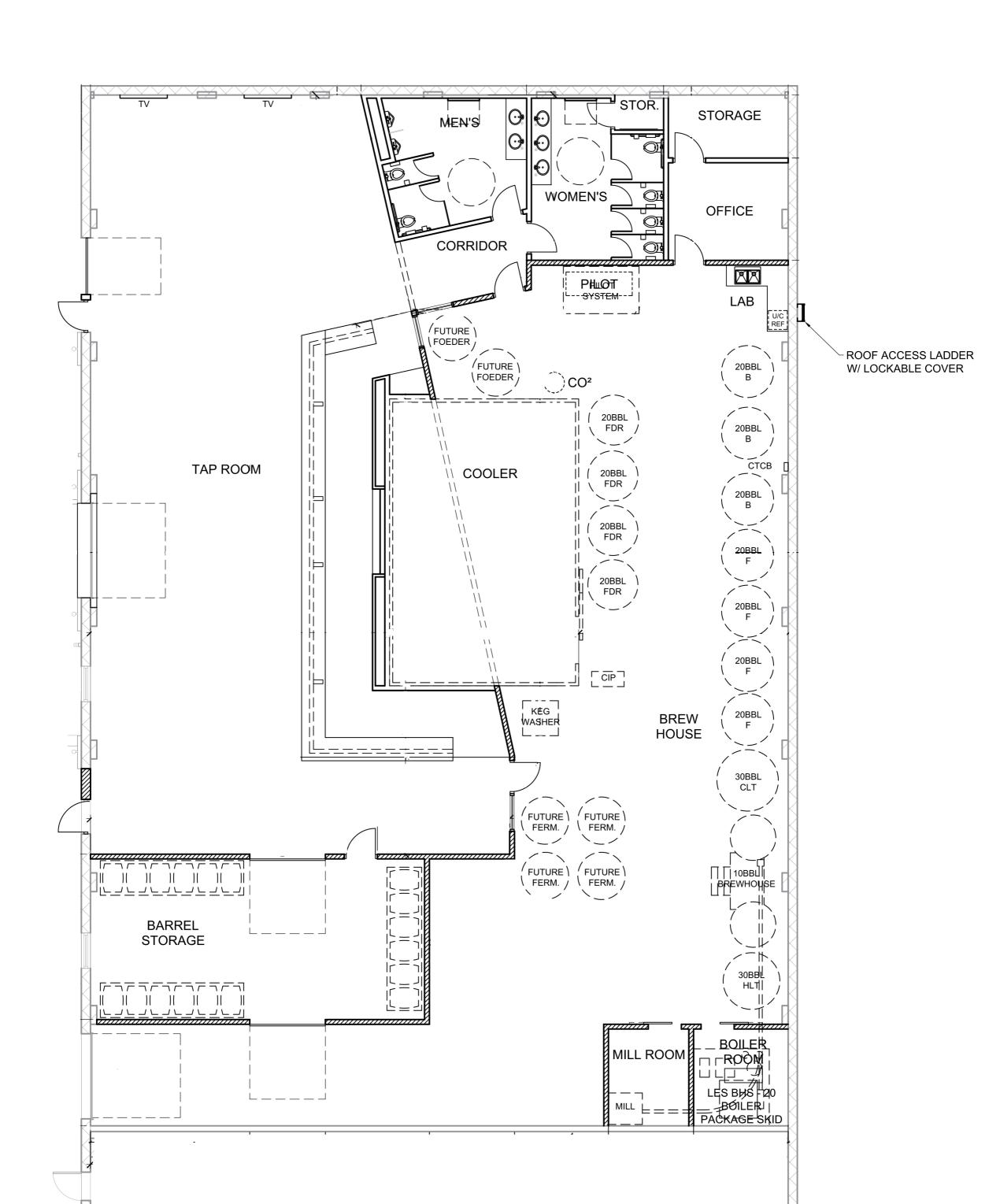
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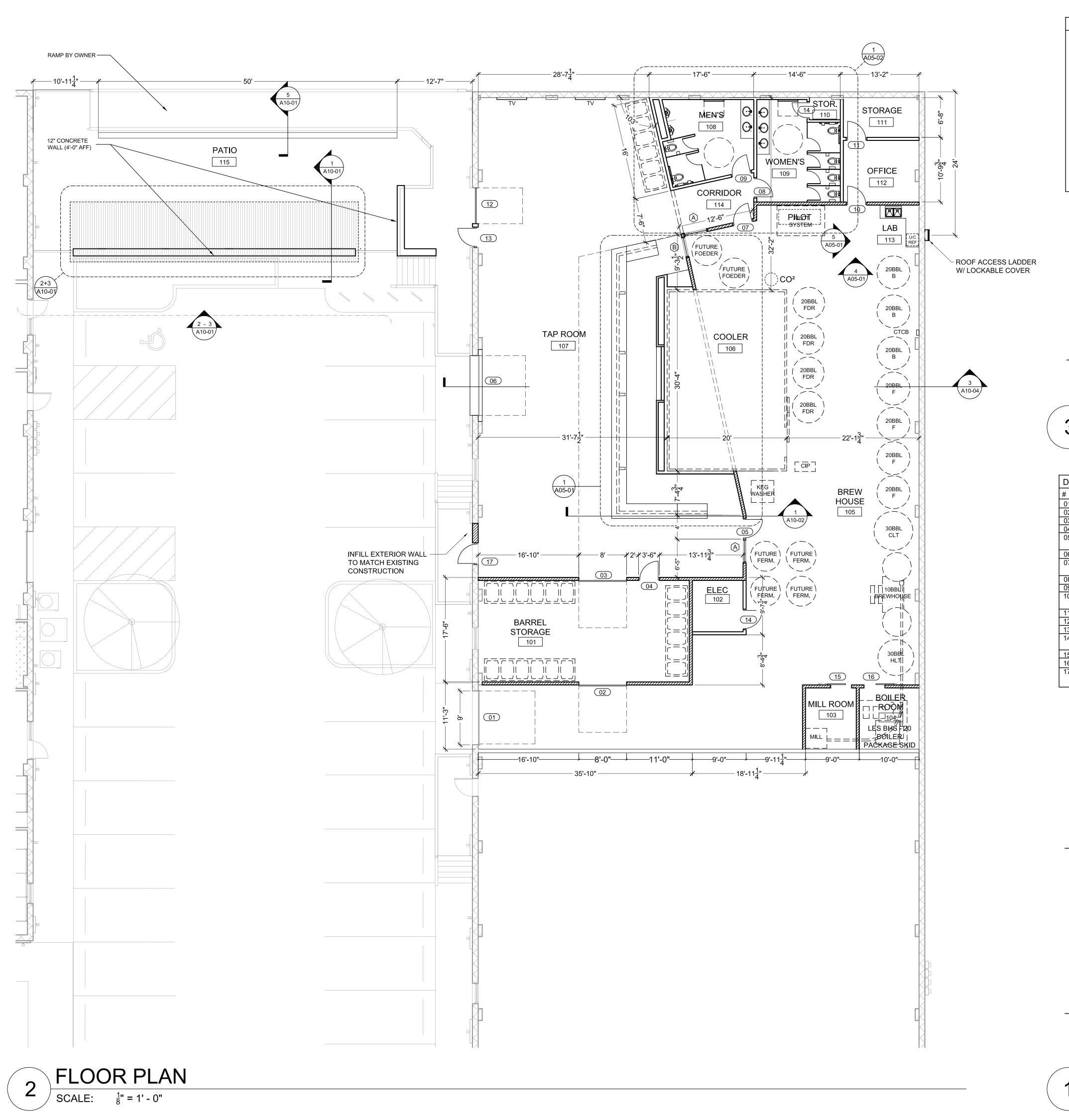
CHARLOTTE REGIONAL REALTOR ASSOCIATION -NEW OFFICE 1120 PEARL PARK WAY CHARLOTTE, NC 28204

132.6273.00

FLOOR PLAN - LEVEL 2

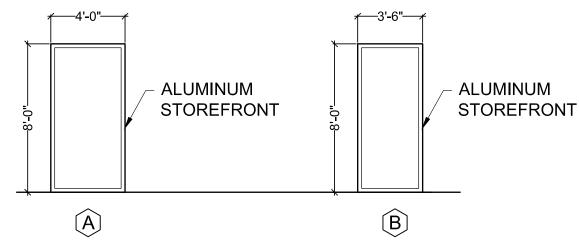
A102





FLOOR PLAN GENERAL NOTES

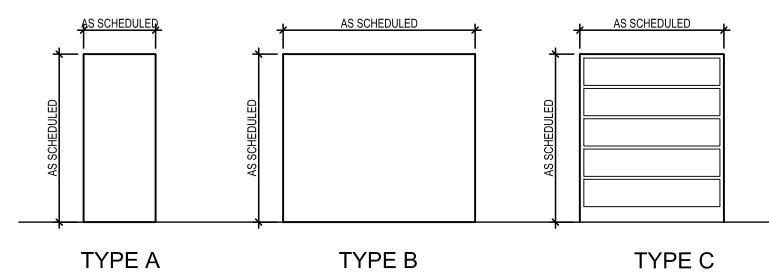
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 ONLY
- ALL BREWING EQUIPMENT AND BARREL STORAGE RACKS (INCLUDING COOLER) TO BE PROVIDED/INSTALLED BY OWNER.
- 3. WALLS EXTENDING TO DECK (SHOWN SHADED) TO BE 6" MTL STUDS WITH 5/8" GWB EACH SIDE. ALL OTHER WALLS TO BE 3 5/8" MTL STUDS WITH 5/8" GWB EACH SIDE, TYP.
- 4. ALL FLOOR DRAINS TO BE LOCATED PER A01-01
- 5. ALL ROOF PENETRATIONS TO BE A MINIMUM OF 4'-0" FROM EDGE OF ROOF.
- 6. ALL DOORS TO BE LOCATED MIN. 4" FROM INTERIOR SWING WALL U.N.O.

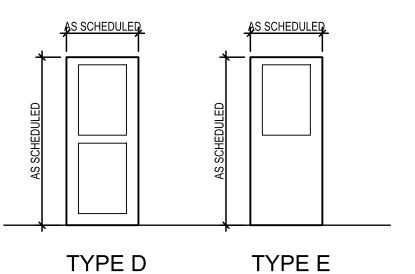


GLAZING TYPES

			E			
#	WIDTH	HEIGHT	TYPE	FRAME	FINISH	NOTES
01	9'-0"	9'-0"	EXISTING			
02	8'-0"	8'-0"	B - STEEL OVHD ROLL-UP DOOR		PT	
03	8'-0"	8'-0"	B - STEEL OVHD ROLL-UP DOOR		PT	
04	3'-0"	8'-0"	A - FLUSH WOOD DOOR	НМ	STD WD	
05	3'-0"	8'-0"	A - FLUSH WOOD DOOR	НМ	STD WD	DOOR TO HAVE CHEMICAL RESISTANT
						WATERPROOF SWEEP
06	10'-0"	5'-0"	EXISTING			
07	3'-0"	8'-0"	A - FLUSH WOOD DOOR	HM	STD WD	DOOR TO HAVE CHEMICAL RESISTANT
						WATERPROOF SWEEP
80	3'-0"	8'-0"	A - FLUSH WOOD DOOR	НМ	STD WD	
09	3'-0"	8'-0"	A - FLUSH WOOD DOOR	НМ	STD WD	
10	3'-0"	8'-0"	A - FLUSH WOOD DOOR	НМ	STD WD	DOOR TO HAVE CHEMICAL RESISTANT
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11	3'-0"	8'-0"	A - FLUSH WOOD DOOR	НМ	STD WD	
12	6'-0"	7'-0"	C - GLAZED ROLL-UP DOOR			
13	3'-0"	7'-0"	D - GLAZED STOREFRONT DOOR			EMERGENCY EGRESS HARDWARE, CLOSER
14	2'-6"	8'-0"	E - FLUSH STEEL DOOR	НМ	PT	60 MIN RATED, EMERGENCY EGRESS
						HARDWARE, CLOSER
15	3'-0"	8'-0"	A - FLUSH WOOD DOOR	НМ	STD WD	SURFACE MOUNTED
16	3'-0"	8'-0"	A - FLUSH WOOD DOOR	НМ	STD WD	SURFACE MOUNTED
17	3'-0"	8'-0"	E - FLUSH STEEL DOOR	HM	PT	45 MIN RATED, EMERGENCY EGRESS
						HARDWARE, CLOSER

1. ALL DOORS TO HAVE FLOOR MOUNTED STOPS PROVIDED AND POSITIONED TO PREVENT COLLISION WITH WALLS SURFACES, EQUIPMENT ETC.





DOOR TYPES

Architecture
NEAR DESIGN WORKSHOP
3537 Annlin Ave
Charlotte, NC 28209

Structural
Hunter Structural PA
1900 Abbott St #103
Charlotte, NC 28203

Mechanical
VP Engineering

1414-C South Tryon Street

Charlotte, NC 28203

Electrical
VP Engineering
1414-C South Tryon Street

Charlotte, NC 28203

Plumbing
VP Engineering

VP Engineering 1414-C South Tryon Street Charlotte, NC 28203

NINE BARREL BREWING
ODA STREET MARKET

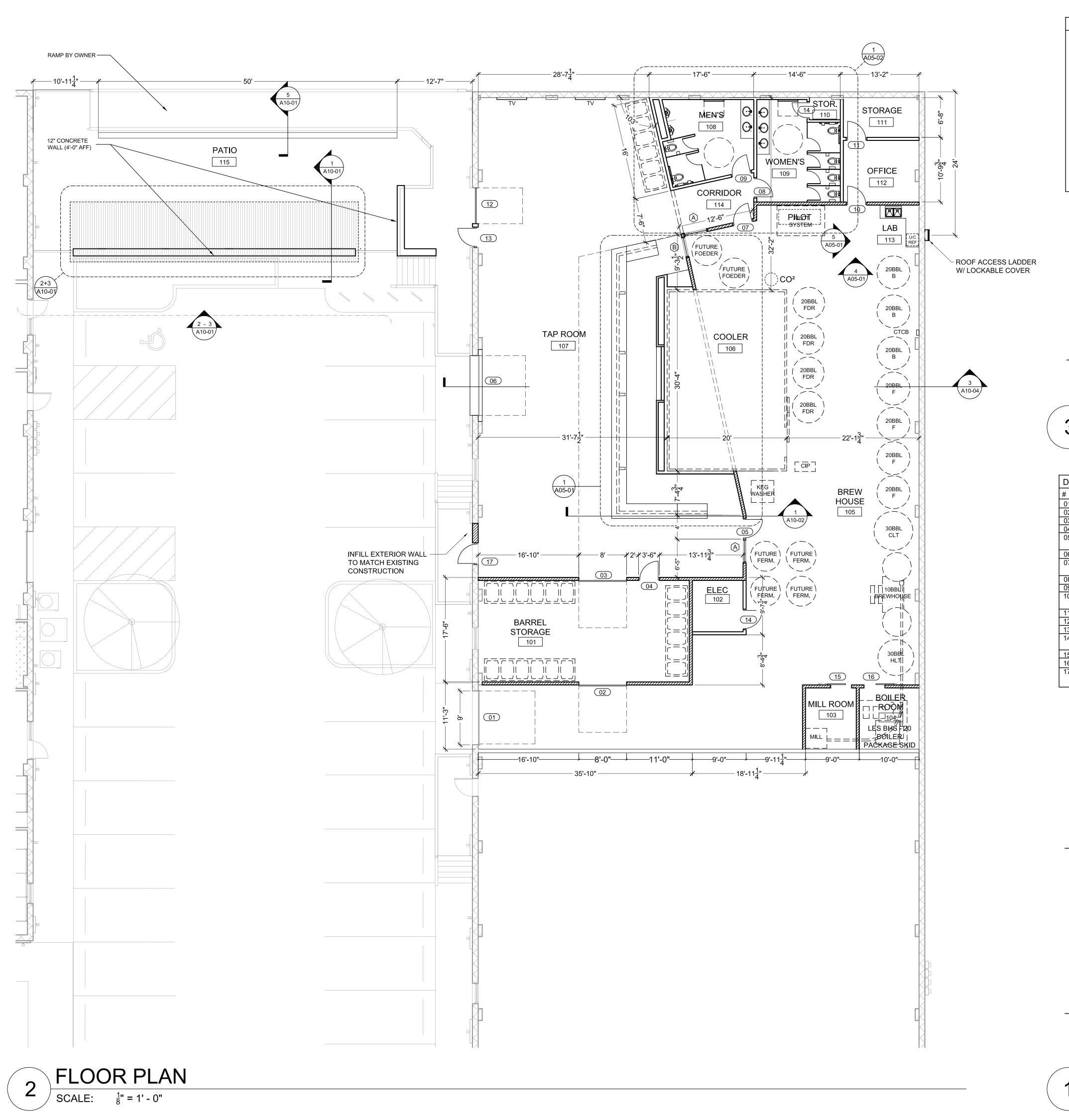
STAMP

REVISIONS
TITLE DATE

FLOOR PLAN
SHEET TITLE

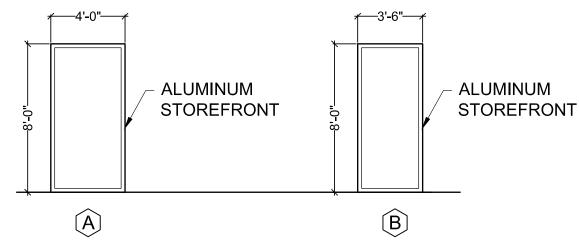
A01-02





FLOOR PLAN GENERAL NOTES

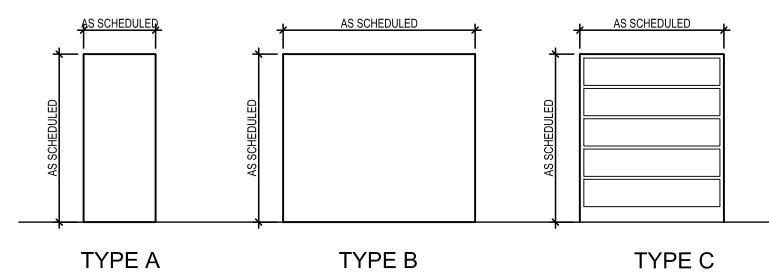
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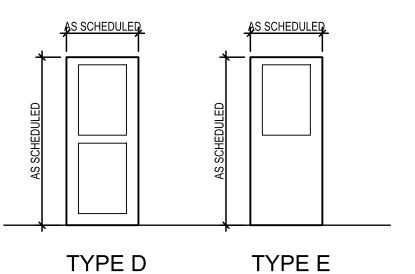


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STAMP

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SHEET TITLE

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